

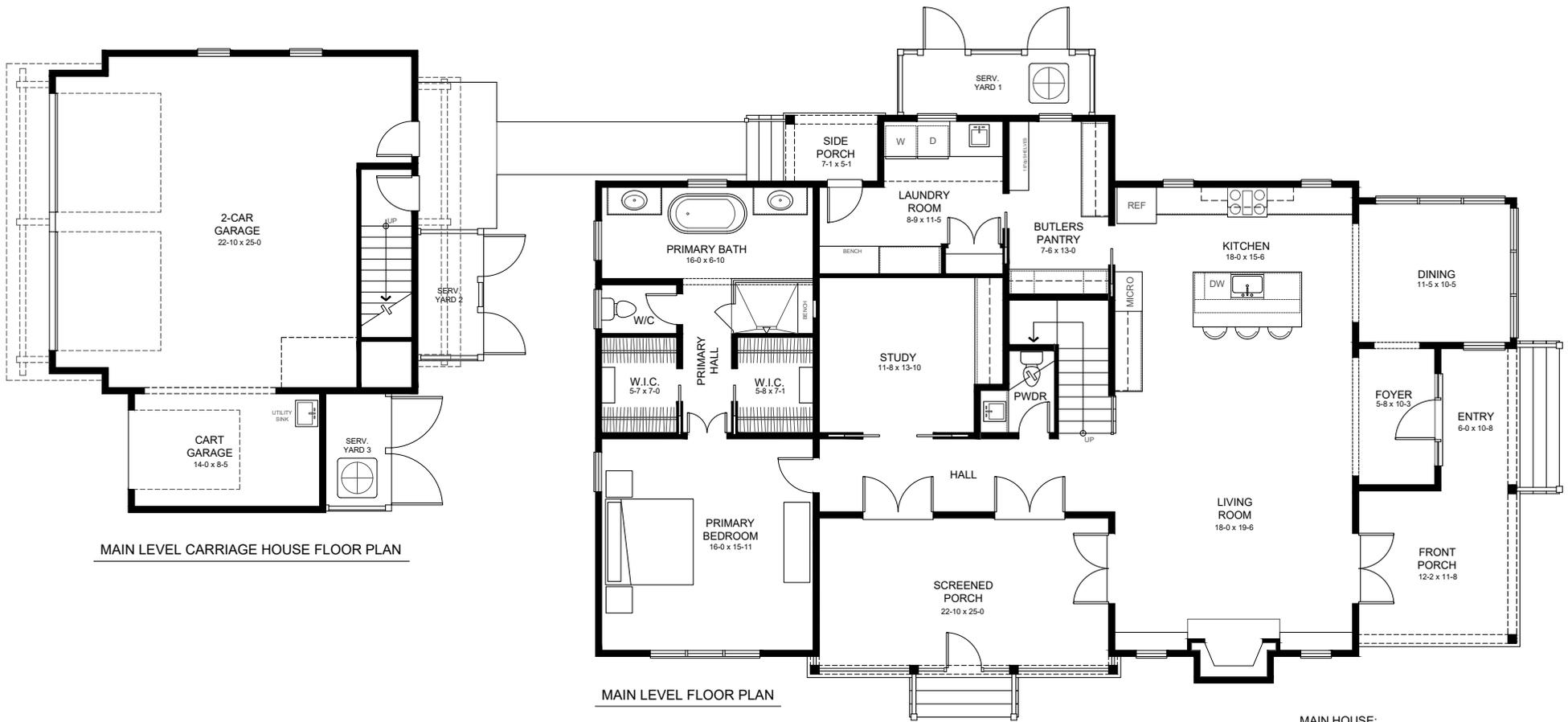
6125 Spec Home

PALMETTO BLUFF



tribus
INTERIOR DESIGN





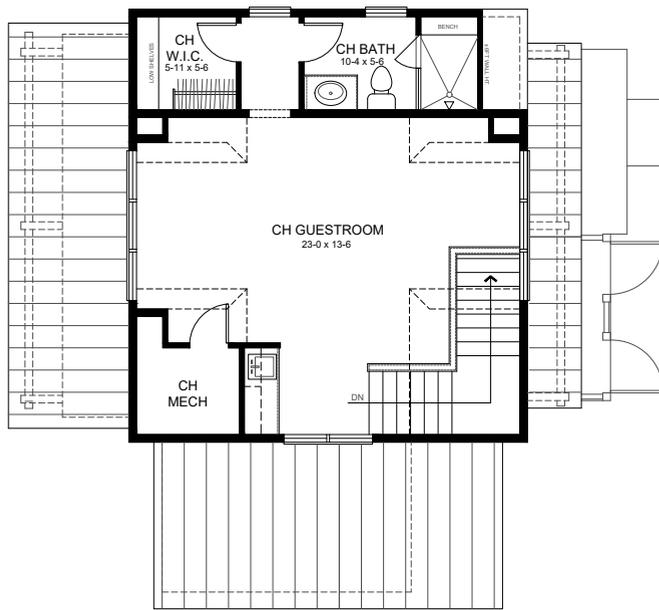
MAIN LEVEL CARRIAGE HOUSE FLOOR PLAN

MAIN LEVEL FLOOR PLAN

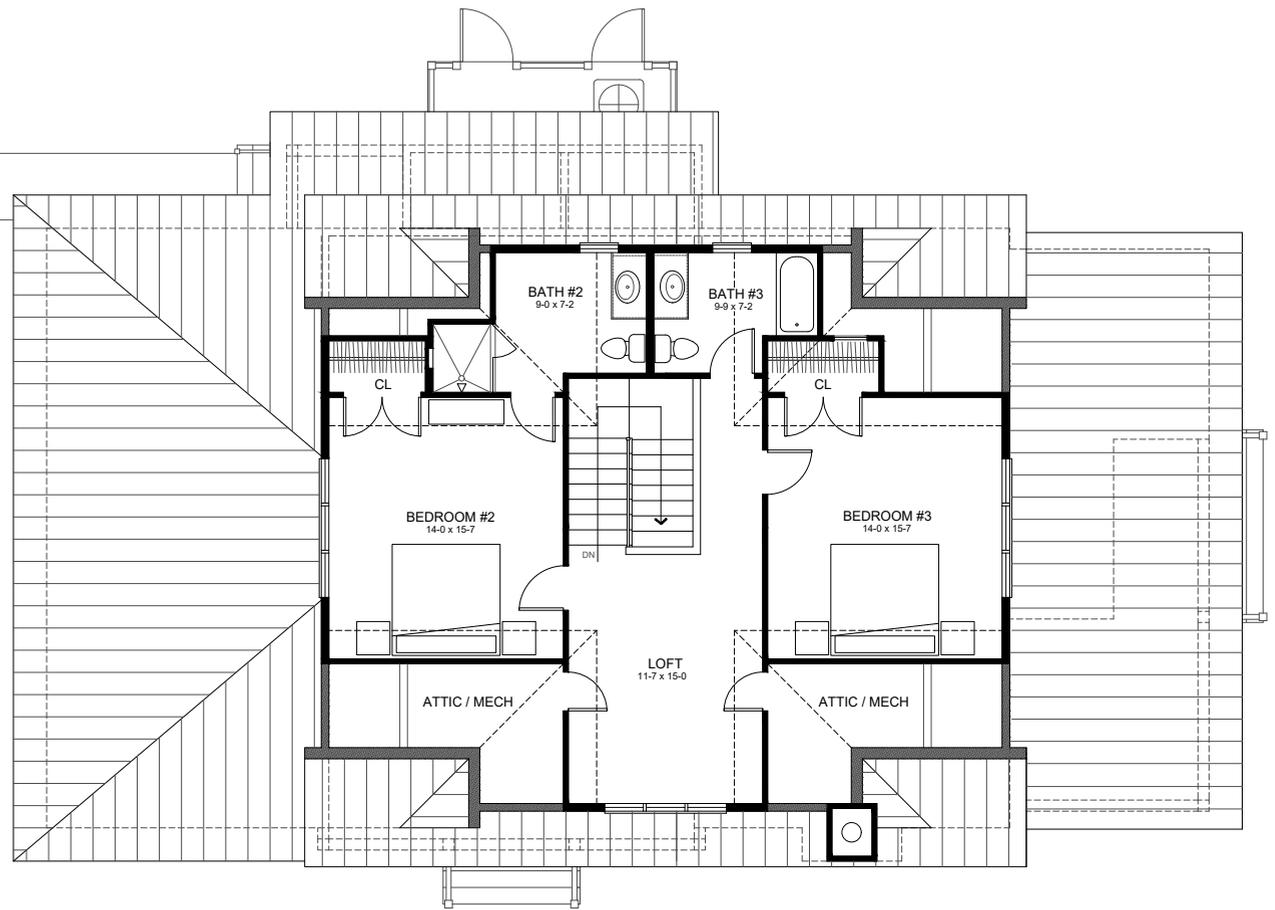
LOT 6125 - PALMETTO BLUFF

LOWER LEVEL FLOOR PLAN

MAIN HOUSE:	
MAIN LEVEL CONDITIONED	2164
UPPER LEVEL CONDITIONED	903
CARRIAGE HOUSE:	
MAIN LEVEL CONDITIONED	81
UPPER LEVEL CONDITIONED	466
TOTAL CONDITIONED	3,614 (gsf)
GARAGE	777 (gsf)



UPPER LEVEL CARRIAGE HOUSE FLOOR PLAN



UPPER LEVEL FLOOR PLAN

LOT 6125 - PALMETTO BLUFF
UPPER LEVEL FLOOR PLAN

56 Marsh Rabbit, Lot 6125 - Palmetto Bluff

Exhibit C - "For Sales" Specifications

Plans by Pearce Scott Architect dated 08/12/2022

Specs Updated: 06/08/23

General Notes:

- The owner and all subcontractors have a duty to read and understand the Specifications which form the binding description of Work.
- All work is subject to DRB approval, engineering, appropriate codes, and permitting.
- Some items and methods are directed based on field conditions by the Project Manager (PM).
- Subcontractors are responsible for all actions listed in Addendum A for inspections pertaining to their trade.
- Subcontractors and vendors are responsible to read and include all exceptions listed in these specs and Addendum B for purposes of bidding and Work.

Division 1 General Requirements

1.01 *General Compliance*

- All subcontractors must be licensed in the proper trades and all business licenses, taxes, and other fees shall be included in their scope of work as required.

All materials and products shall be as specified herein.

- The scope of work for many trades may be covered in numerous sections of the specifications.
- All work shall comply with the following specs, with the current edition of the International Residential Code (IRC), applicable International Energy Code (IEC), the International Plumbing Code, the International Mechanical Code and the International Electrical Code, as well as any and all applicable local, state, city or county ordinances.
- All materials shall be installed per manufacturer's recommendations unless in conflict with other manufacturer's requirements or otherwise directed by PM.
- No sub-contractor shall knowingly perform work or install materials over insufficient or incorrectly prepared conditions and shall report any such conditions to CG.
- Where a conflict exists between the project documents, manufacturer's recommendations, and/or the applicable building codes the sub-contractor shall

notify CG prior to performing related work.

- No substitutions of materials or methods are allowed without written approval by CG.
- All materials shall be new and delivered to site in manufacturer's original packaging.
- All Allowance amounts include installation cost other than plumbing fixtures and lighting fixtures which such installation is included by licensed trades.

1.02 *Required submittals to CG by subcontractors:*

- All subs must provide their state and Town of Bluffton and/or Beaufort County, Business license number as well as contractor sub-type (i.e., SBE, DOT, W/MBE, DBE).
- Slab, foundation, footing sizes, wall heights, brick ledge locations and reinforcing with rebar sizes, spacing, and locations as required and per plans.
- Fabricator's heavy timber shop drawings with dimensions, sizes, and connection details.
- HVAC equipment with project specific Manual-J calculations and Manual D.
- Structural steel shop drawings with member sizes, dimensions, and connection details.

- Window and door rough openings with installation details and requirements.
- Wood truss shop drawings with all beam sizes, hanger locations, point load locations and bracing requirements.
- Wood floor system plans with all beam sizes, hanger locations, point load locations, and bracing requirements.
- Retaining wall engineering documents where applicable.

1.03 Job site signage

- Job-site sign to be installed & maintained by CG per requirements.
- A material mockup will be framed by framer and each corresponding subcontractor (Roofing, Ext. trim/Siding, windows, brick) will be responsible to install their sample material for DRB approval.

1.04 Construction Management.

- No construction materials shall be burned or buried on a job site or other area other than a state approved construction and demolition landfill.

1.05 Testing Requirements

- Soil compaction as required and per engineered construction drawings.

1.06 Termite Protection

- Provide soil treatment for termite control at the end of earthwork operations and prior to any work that would cover earth upon which

any building will stand or flatwork joins building structure.

- Treat soil in strict compliance with the national pest control association standards and the manufacturers recommendations. Insecticide must be proven to prevent termite infestation, acceptable to authorities, and not injurious to plants and Landscaping.
- Additionally treat framed walls and wood to 3-0 with Borate.
- Provide written warranty agreeing to re-treat soil and repair damage from termite infestation for a period of 1 year from the date of COO with the bond renewable by the owner afterwards.
- Shall comply with SC Pest Control Act.

1.07 Warranties – Vendor

- From vendor or subcontractor to CG from COO date per CG Vendor Agreement 2022.

1.08 VOC Limits for Paints and Finishes shall be as follows:

- VOC requirements for indoor paints and stains as detailed.

1.09 Green Building Certification

- Built to or to exceed Energy Star standards where applicable.

1.10 Pest Control

- By Owner

1.11 Indoor air quality control

- As required by code or as specified in Div 15.

1.12 Builder's Risk, Liability, and Workers Compensation

- A Builder's Risk policy is provided.
- Liability Insurance for CG is provided.
- Workers Compensation Insurance for CG is provided.

1.13 Permitting

- All permitting fees are included.
 - Include applicable Impact Fees and Tap Fees.

1.14 DRB Bonds and Fees

- The Compliance Deposit is paid by CG outside of client contract and will be refunded to CG upon completion.
- Maritime fee is to be paid by Maritime contractor (if applicable).
- Owner responsible for Owner Compliance Fees when required by ARB/DRB.

1.15 Utility Services

Power

- The power supply to residence will be provided by utility company from existing transformer for 200 Amp service as needed or required.

Gas

- Per plans for Natural Gas.

- Gas piping by Certified Contractor with grounding as required.
Sewer
- Access to BJWSA Public Sewer System with connection provided. Water
- 1" water meter tap provided w/standard residential meter from BJWSA Public Service with 1 ¼" UPONOR supply line.

1.16 *Selection and Design Services by Tribus Interior Design*

- By Tribus Design Studios for all services required before and during construction to include:
 - Selection Services for all interiors
 - Selection services for exterior of residence
 - Cabinet design and selection
 - Tile drawings and selection
 - Mirror / wall lighting drawings
 - Preliminary furniture layout planning
 - Lighting consulting
 - Virtual Rough-In Video Call
 - Rough-In walkthrough

Division 2 Site Work

2.01 *Tree Protection*

- The grading contractor shall provide tree protection measures indicated on the site plan drawings.
 - Provide and maintain temporary guards or fencing to encircle trees or groups of trees at the drip line.

2.02 *Erosion control*

- A silt fence shall be installed as required per ARB and Governing Municipality.
- For silt fencing:
 - Steel posts should be utilized, properly spaced and driven into compacted soil.
 - The filter fabric is stapled or wired directly to the posts. Filter fabric shall not be stapled to existing trees.
 - The soil should be sliced and the fabric mechanically installed into the soil 6" minimum. Height of a silt fence shall not exceed 36 inches.
 - Storage height and ponding height shall never exceed 18 inches.

2.03 *Site Work*

- All grading, excavation, fill, gravel, hauling, compaction, erosion control, daily street cleaning as required, and drainage is per site plan.
 - Site shall be cleared and graded per site plan for FFE requirements , per site staking plan, and per engineer's requirements.
 - Maintain stability of excavations. Stockpile satisfactory quantities of material for re-use.
 - Compact materials at structure, pavement and walkways to 95% maximum dry density; Compact materials at unpaved areas to 90% maximum dry density.

- Unknown soil conditions such as unknown back filled sand, soils with excessive organic material, or poor soils not suitable for structures are excluded.
- All trees, debris and underbrush are to be hauled offsite.
- Site to be backfilled and rough graded after foundation with clean sand fill.
- All slabs and Foundations, shall be filled with clean fill sand and compacted as required per code.
 - Common fill: Mineral soil substantially free of organic and unsuitable materials.
 - Structural fill: Gravel or sandy gravel free of organic and unsuitable materials.
- Site to be rough graded around house for proper drainage per landscape/grading plan.

2.04 *Survey work*

- Survey work as needed for building pad, to place house, footings, walls, drives, and foundation provided by CG.
- As-built survey as required by Beaufort County.
- Floodplain elevation certificates as required.

2.05 *Site Walls*

- N/A

2.06 Landscaping

- All landscaping including final grade, drainage, landscaping, irrigation, golf areas, bocce ball courts, bridges, all fencing, and gates (including pool fencing), decorative walls, landscape lighting, firepit patios, firepits, pathways, steps, hardscapes, water features, low voltage lighting, other lighting, all lighting wiring, mailbox, and trenching etc. per Landscaping - Allowance.

2.07 Other Land Improvements

- Pathways per Landscaping – Allowance.

2.08 Outdoor Pavers and Flatwork

- Pathways per Landscaping – Allowance.

Division 3 Concrete and Asphalt

3.01 Monolithic, Turn Down Concrete Slab Foundations and Slabs on Grade

- Per plans and engineering requirements where specified on plans including details, cross sections, rebar schedules, and any footings as indicated on structural drawings.
- Inspection requirements, per Addendum A – I.R. 6, met by contractor.
- Termite treatment and compaction to be coordinated by concrete contractor with field tickets & reports submitted to PM prior to pour.

- Concrete Contractor to supply & install all “wet-set” anchor bolts & locating and placing any “wet-set” anchors/strapping per plans.
- Footings and House slabs: 3,000 PSI concrete.
- Walks and Terraces: 2,500 PSI concrete.
- Reinforcement: Bars, Deformed steel, mesh welded steel wire fabric.
- 6 mill (min.) poly vapor barrier.
- Provide isolation joints at vertical elements.
- Use keyways at construction joints – continue reinforcement through joint.
- Slabs under conditioned spaces shall be steel trowel finished to within ¼” of level in 4’ and non-conforming slabs shall be ground down or patched with appropriate underlayment by concrete contractor.
- Slabs shall be prepped per Wood Oak Floor Association’s recommendation for engineered wood overlay. Concrete Contractor responsible for slab tolerances and corrections as outlined by flooring contractor. Excessive, non- conforming slab tolerances that do not meet flooring requirements to be adjusted and remedied by concrete contractor.
- Slabs on grade shall receive 1” deep saw cut joints in square/rectangular sections not to exceed 100 sf.
- Sections of new concrete slabs with cracks exceeding 1/8” shall be cut and patched by concrete contractor.

- ***Main-level slab shall be recessed for master shower.
- ***Main-level slab shall be recessed for flush Hearth.

3.02 Monolithic slab turndowns / Footings

- Footings are to be level, continuous, and sized as required to support loads, wall heights, and per plans.
 - Per plans and engineering requirements.
 - Inspection requirements, per Addendum A – I.R. 2, met by footing contractor.
 - 3,000 psi or higher concrete for mono-slabs and any required spread footings.
 - All monolithic turndowns / footings to bear on undisturbed or compaction tested soils.
 - As required per Structural Drawings all Footings should exceed minimum requirements. All supporting walls over slabs, fireplaces, point loads, and other loads from above should provide thickened slabs below.

3.03 Exterior Surfaces - Garages, Porches

- “Tabby” Concrete with inset brick edges/ borders
 - Front Porch
 - Side Porch
 - Side (Service) Porch (on house to garage walkway)
 - Garage Entry Porch (Slab-on-Grade)

- Garages
 - Garage slabs shall slope toward exit door as required by code and be finished in 1/8" full flake epoxy.

3.04 Poured Concrete Foundation Walls

- N/A

3.05 Elevated Slabs

- N/A

Division 4 Masonry

4.01 General Masonry

- Front Entry Steps per plans with solid filled CMU backup.

4.02 Fireplace/Hearths

- Flush brick hearth and fireplace surround. Slab recessed for hearth.

4.03 Brick Veneer

- Brick to be oversized, Savannah Grey with Savannah Buff or Ivory Buff Type 'N' mortar.
 - Front Entry steps
 - Borders / Front edges of Porches
 - Fireplace hearth and surround

4.04 Masonry Mantels

- N/A

4.05 Pervious Pavers (as shown on Landscape Plans)

- Front sidewalk (to main house entry)

- Walk from House to Garage entry slab.
- Driveway (from alley to garage foundation)

Division 5 Metals

5.01 Structural steel

- Structural steel as needed per plans and as shown in Structural engineering.

5.02 Metal stud framing

- Framers to construct metal framing for chimney / bishops cap / wind screen. Sizing and clearances to be coordinated with fireplace flue contractor.

5.03 Architectural Metal Work

- N/A

5.04 Flashing, Drip, and Valleys

- Matching Material to 5 V Crimp Metal Roof
 - Provide flashing above any timbers or wood exposed past overhangs.
 - Provide flashing per plans between any horizontal masonry and veneer change (ex. Stucco to stone).
 - All exposed edges shall be double hemmed.
 - Flashings shall be capped/lapped with self-adhering (peel-n-seal) flashing over zipwall exterior sheathing.
 - Chimney spark arrester and pipe to be flashed with metal top cap to match Metal Roof Material. Inner curb will

be provided to allow stucco finished bishops cap wind screen.

- All roof Valleys
- All roof Flashing
- All drip edge and cap

Division 6 Carpentry

6.01 Wood sourcing.

- Preference for North American SPF with size, species, and grade per plans and structural.

6.02 Wood materials

- All wood in contact with concrete or masonry shall be pressure treated. All exterior exposed treated wood to be painted shall be KDAT.
- All fasteners shall be compatible with wood species and connection surfaces as needed or required such as galvanized or stainless steel. All exposed exterior fasteners to be stainless steel.

6.03 General Framing

- Framers responsible to meet all inspection requirements per Addendum A – I.R. 4, I.R. 7 and I.R. 9
- Framers shall follow all plans for truss and floor system work unless a conflict is found in which CG shall be advised of before alternate work is completed.

- Framer to place rafters to provide appealing spaced, exposed rafter tails.
- Framer shall complete all draft-stopping and fire-blocking as required by code.
- Refer to drawings for advanced framing details required.
- Framer shall construct a ramp access upon completion of first floor decking.
- Framer shall install framing to allow for can lighting as shown on the reflected ceiling plans.
- Framer shall notch all LVL's at ceiling plan for hangers to provide flush ceiling and add glue.
- Framer shall construct a drawing table for full size plans upon completion of First floor decking.
- Lumber supplier shall provide poly and cover all materials upon delivery.
- Framer shall cover all unused material at the end of each workday.
- Framer shall cull material and stack & cover daily any unusable material for return.
- Framer shall install curbing for flashing at chimneys and all vertical walls above roof.
- Framer shall guard all window openings, stairways, and other elevated areas per OSHA requirements.
- If certified as an installer, framer to provide window installation quote separate from framing quote.
- Framer shall cover the top of all cut wall sheathing w/ house wrap at window rough openings upon cutting with self-adhering flashing to prevent swelling.
- Framer shall clean the work area daily and sweep the entire home every Friday (during framing) to a higher standard but also keep the site broom clean daily.
- Framer shall build all hearths, tub decks, and shower seats.
- Framer shall frame primary shower and other showers if noted on plans for curbless entry.
- Framer shall frame any raised hearths as indicated by PM per plans.
- Framer shall frame a barrier wall between garage and house as directed by PM for an insulative barrier.
- Framer shall install OSB sheathing in all interior areas to receive brick or stone veneer.
- Framer shall build the required mock-up structure or display per ARB specs.
- If applicable - Framer shall frame out elevator shaft per elevator specs and install LVL's as required for elevator use.
 - Framer shall frame out elevator shaft with floor system headered off for elevator.
 - See Division 14 for elevator details
- Framer to Install all seam tapes, nail penetrations, etc., as required per Zip Wall manuf. instructions on exterior walls.
- Framer shall install all cabinet blocking as needed.
- Framer shall install all hand grab rail blocking as needed for shower, stairs or decking as needed.
- Framer shall confirm finished floor materials for treads and floors at top and bottom of stairs to assure proper riser heights and meet proper rise and run requirements.
- Shown on Plans but will eliminate installation of sleeper/subfloor system over concrete slab. Window/door header height adjustments as required.

6.04 Dimensional Framing

- Exterior framed walls shall be a minimum 2"x 6" @ 16" o.c. unless noted otherwise for structural reasons.
- Interior wall framing shall be a minimum 2"x 4" @ 16" o.c. unless noted otherwise for structural reasons.
- Any Interior walls with decorative vertical wall planking shown or specified (shiplap, plank, etc.) to require blocking every 24".
- Framer is responsible for all chase fire blocking including all soffits and fireplace chimney chases.
- All walls shall be plumb within 1/4" from top to bottom.
- All walls to receive millwork shall be straight within 1/4" within any 8' sections.
- Fireplaces to be framed to rough dimensions from Fireplace manufacturer but no combustibles shall be within the specified distances from the Firebox.

- Framers to construct metal stud framing for bishops cap wind screen on chimney – see 5.02 Div. 5 Metals.

6.05 Sheathing

- Wall sheathing shall be a 1/2" Zip System
 - Installation to follow all manufacturer guidelines, including but not limited to:
 - Zip tape and installation per manufacturer guidelines.
 - Seal all holes and gaps per requirements.
 - Control nail gun pressure to avoid head penetration beyond Zip surface as indicated by manuf.
- Roof sheathing shall be 5/8" CDX Plywood Sheathing
- Floor sheathing shall be 3/4" Advantech or eq.
 - All joints shall be glued and screwed down in addition to manufacturers fastening pattern.
 - Use only solvent-based or polyurethane adhesives which conform to industry standards AFG-01, and follow manufacturer's recommendations.
 - Before each panel is placed, a line of adhesive should be applied to the top of the joist.
 - A min. 1/4" bead of glue is recommended.
 - Fasteners should penetrate framing members at least 1".

- Apply fasteners 3/8" from panel edges.
- Space fasteners 6" o.c. on supported edges (4' ends) and 12 o.c. at intermediate support locations or as indicated on Engineering drawings or as prescribed by code.

6.06 Engineered Wood Trusses and I-joists.

- Trusses, Open-Web Floor Trusses & I-joists to be coordinated by Eng with truss manufacturer.
- All wood truss/I-joist systems shall be engineered by the truss/joist supplier.

6.07 Wood Flooring Preparation

- Required floor prep and materials as selected to be installed per manufacturer requirements or industry standards. per Flooring – Hardwood Material Allowance.
- Wood floor installations shall comply with Wood Oak Floor Association's recommended practices or as recommended by flooring manufacturer.

6.08 Interior Trim Work

- Contractor shall coordinate selection of trim profile within the guidelines of the standard offerings of similar size and type listed below.
 - Painted Base and Shoe
 - 10" x 4/4" poplar base with square cap on main.

- 8" x 4/4" poplar base with square cap on upper(s).
- MCS1 shoe mold from Metro Collection by Garden State.
 - Painted Casings
 - For Doors – 4/4" X 4" profile for sides jambs with 5/4" X 6" profile for head
 - For Windows – 4/4" X 4" sides with 5/4" X 6" profile for head. 5/4" stool with 4/4" X 4" profile for apron.
 - Painted Crown and Flat Trim
 - EC 81 cove crown in primed pine from Garden State in Great Room, Kitchen, Dining, Hall & Primary Bedroom, Powder... excluding closets
 - Mantels
 - Great Room: 8" X 10" Cedar, smooth timber mantel, per plans.
 - Other
 - Provide 25 1/2" x 54" attic pull-down stairs as needed for access.
 - Provide attic pull down or scuttle hole in Carriage House.

6.09 Exterior Stained or Heavy Timber Wood

- Columns: KDAT, pre-primed, Lam wood, sized per plans.

6.10 Exterior Siding and Trim

- Painted, Lap siding in fiber cement with 6" exposure.
- Window Trim and Corner boards to be Hardie or similar as shown on architectural plans.

- Exterior boxing (frieze, soffit, fascia) per plans. Rafter tails exposed with 5/8" T-111, 4" o.c., painted.

6.11 Exterior Wood (Other)

- KDAT #1 decorative brackets, design and sizing as shown on architectural plans
- Service Yard: KDAT material per Arch drawings.
- Rafter Tails: KDAT 2x Sister'ed (exposed) to 2x Rafters per plans, reduced depth (ripped) for 5/8" T-111 soffit material and roof sheathing to be flush with t/o rafters.
- Exterior Stairs: KDAT material, painted risers as shown on architectural plans.

6.12 Exterior Ceilings

- All main floor exterior ceilings to be 1"x6" cypress t/g, painted.

6.13 Vent Covers

- Provide inset wood supply HVAC vents to match floor species for floor supplied HVAC outlets.

6.14 Shutters

- N/A

6.15 Shutoff Valve Labeling

- Location of "in wall" shutoff valves per Division 15.

Division 7 Thermal, Air Infiltration, & Moisture Protection

7.01 Insulation, Sealing, and Infiltration

Barriers Sound Abatement

- Sound insulation in R-19 batts around all bedrooms, baths, and laundry.
- R-9 insulation batts between all framed floors and below all HVAC equipment platforms in attic.

Energy Ratings

- Install insulation as required by current IECC or better for R-values as prescribed. Crawl/Under slab
- N/A Attic
- Open cell foam on under roof deck, avg. 5.5" (+/-R-38). If attic is to be used as storage all local safety and construction requirements must be met before use is permitted. *IE Note: fire rated paint is not included, and no storage areas shall be constructed in attic unless the paint is added as a change order.

Stud Walls

- 2"x6" exterior walls to Open Cell R19 Spray Foam.
- Air sealing measures to meet Energy Star requirements.
- All exterior wall, ceiling, and floor penetrations shall be sealed.
- Joints ¼" or less shall be sealed with acrylic sealant.

- Joints greater than ¼" shall be filled with expandable foam.
- Joints between window/door frames and rough openings shall be sealed.
- All exterior sheathing joints greater than 3/32" shall be sealed.
- All exterior wall stud base plates shall be caulked to the sub-floor.
- Utility & piping penetrations shall be sealed.
- Windows and Doors shall be caulked to casing.

7.02 Above Grade Water Infiltration

- Windows and doors shall be flashed in accordance with the window and door manufacturer's installation instructions.
- Windows and Doors shall be caulked to veneer, by painter.

7.03 Roof Underlayment

- Top Shield Defender TU (180day) or Tarco PS 200 Hi-Temp (180day) Ice, Wind and Water Seal Underlayment installed by roofer.

7.04 Metal Roofing

- Standing Seam Metal in Kynar 500 coating over Top Shield Defender TU (180day) or Tarco PS 200 Hi-Temp (180day) Ice, Wind and Water Seal underlayment or eq. under all metal roofing areas, installed by roofer.
- Valleys and drip edge Kynar finish to match roof color.

- No ridge ventilation system for house unless roof areas are over non- conditioned space such as garages.
- Install flashing on all chimneys and counter flashing on other walls as required.
- Install flashing on all plumbing vent stacks as needed.
- Include ongoing and post completion clean-up of all roofing related trash and debris, all trash and debris will be placed in onsite dumpster
- Work to be performed and guaranteed in accordance with NRCA and manufacturer's requirements.
- See Division 8 and floor plans for roof windows and solar tubes, if any.

7.05 Gutters and Downspouts

- Gutters shall be Aluminum, 6" (half-round) with round Aluminum, 4" downspouts field fabricated.
 - Smart-Flow, flat perforated gutter guards or eq.
 - Gutters to be located along front/side porch.
 - Provide 4" corrugated piping and drain to daylight away from house.
 - All fasteners shall be non-staining.

7.06 Foundation Wall Waterproofing

- N/A

7.07 Wet Floor Protection

- All wall tile to be installed with thin-set mortar and fully grouted per selection.
- All tile showers to be over Schluter-DITRA or DITRA-XL or eq.

7.08 Sound Attenuation

- Refer to 7.01

7.10 Vapor Barrier

- Provide overlapped 6 mil barrier under all garage, porch, and interior slabs or as required.

7.11 Stucco

- Tabby Stucco Chimney & Foundation and any other locations indicated on drawings.

Division 8 Doors, Windows, and Glazing

8.01 Exterior Windows & Pedestrian Doors

- As shown or specified per plans. All Exterior openings, windows and Doors shall be constructed to meet local requirements and installed to comply with project specific design criteria including but not limited to wind speed, exposure category, escarpment modifications, UV ratings, energy requirements, window size, and pressure zone.
 - All divided Lights shall be 7/8" SDL.
 - Pine frames

- Smart sun glass with a >DP50 ratings or per ratings established by engineer.
- All mulled units shall be pre-mulled with spread mulls from the factory.
- Doors shall have threshold protectors.
- Window screens shall be fine mesh by manufacturer, as OPTION.

Windows

- Marvin – Elevate Series w/prefinished exterior (fiberglass) & prefinished interior, or approved equal
- OPTIONAL: same series or equal with impact glass

Doors

- Marvin – Elevate Series w/prefinished exterior (fiberglass) & prefinished interior, or approved equal

Front Door

- Per plans. Mahogany clear finish, clear glass and Emtek Hardware, per plans and Front Doors & Hardware Allowance.

8.02 Garage Doors

- Composite Veneer per Architectural drawings.
 - 9'x8' (U.O.N) O.H. Garage doors.
 - Style per plans.
 - Belt drive operators.
 - Installer to provide color coordinating weather-stripping at top and sides of door.
 - Provide Keypad & remotes.

8.03 Interior Doors

- Primed Trustile doors and wood jambs, per plans.
 - 8-0, 1 ¾" thick, 2-panel square.
 - 4x hinges per door.

8.04 Interior Door Hardware

- Interior Door Hardware in Lariat Lever with #3 rosette in flat black bronze patina by Emtek per plans.

8.05 Exterior thresholds

- As shown or specified per plans to meet requirements.
- All other exterior thresholds shall be extruded aluminum painted black.

8.06. Window hardware

- Window hardware shall match exterior window color.

8.07. Screens

- Fixed Screen: "Screen Tight" or "ScreenEze" metal channel screening system or EQ with trim and insect screening per plans.

Division 9 Finishes

9.01 Paint

Sherwin Williams shall be used for all paints.

Interior paints:

- Walls
 - Prime Coat: Sherwin Williams Masterprep® Interior High Build Primer
 - Topcoat: Sherwin Williams Duration Home® Interior Latex Flat
 - Up to (4) flat wall colors included.
 - Ceilings
 - Topcoat: Sherwin Williams MasterHide® Interior Latex Flat.
 - One color through-out house other than coffer panels that may be painted wall color.
- Trim
 - Topcoat: Sherwin Williams ProClassic® Waterborne Interior Acrylic Semi-Gloss Enamel in (1) color to match ceilings.
 - Doors to match trim unless otherwise documented.
- Interior Stain System
 - Stain Coat: Sherwin Williams Minwax® Wood Finish Stain
 - Polyurethane Coat: Sherwin Williams Minwax® Polyurethane Satin Oil.
- Caulk
 - Sherwin Williams Sher-MAX® Ultra Urethanized Elastomeric Sealant, White.

Exterior paints:

- Exterior Brick (if applicable)
 - Prime Coat: Sherwin Williams Loxon® Interior Exterior Masonry Primer
 - Topcoat: Sherwin Williams SuperPaint® Exterior Latex, Satin.
 - Exterior Siding
 - Topcoat: Sherwin Williams SuperPaint® Exterior Latex, Satin.
 - Exterior Trim
 - Topcoat: Sherwin Williams SuperPaint® Exterior Latex, Satin.
 - Exterior Stain
 - If Semi-Transparent: Sherwin Williams SuperDeck® Exterior Semi- Transparent Oil Stain.
 - If Solid: Sherwin-Williams WoodScapes® Exterior Acrylic Solid Color Stain
 - Caulk
 - Sherwin Williams Sher-MAX® Ultra Urethanized Elastomeric Sealant.
- ### 9.02 Gypsum Wall Board (GWB) or Sheetrock
- GWB shall be min. of ½" gypsum board, American made and certified.
 - Screw and glue all boards.
 - All exposed corners shall be flat.
 - Level 4 finish
 - Laundry, Bathrooms and Wet Areas shall receive ½" moisture resistant GWB .
 - Install no sheetrock behind showers or tubs (use Schluter board or EQ)

9.03 Closet Shelving

- All closet shelving shall be per Closet Allowance - All.
- All built-in, shelving, and cabinets in garage per Garage and Other Storage Allowance.

9.04 Countertops

- Per customer selection sheet and Countertops Allowance.

9.05 Interior Stairs and Handrail

- Per plans: First flight Open tread to landing
 - Treads (with 3/8" round over) and landing in oak (or to match selected wood flooring) stained to match color.
 - Painted wood risers to match interior trim color.
 - Newel Post and open handrail in oak (or to match selected wood flooring) stained to match color or painted to match Trim color as determined.
 - Balusters to be 2"x2" poplar, painted
 - Continuous Grab Rail as required by code and material/color to match flooring/treads or trim color.

9.06 Cabinets and Shelving

- Tribus Interior Design shall coordinate selection of millwork design and finish with the Owner per customer selection sheet per All Cabinetry and Millwork Allowance.
 - Includes all cabinets, built-ins, bunks, and millwork details with finishing and

installation.

- A separate Cabinet Hardware Allowance is provided for hardware.
- Cabinet provider to provide matching shoe molding for all cabinet areas.
- Cabinets are provided under Tribus Interior Design
- Cabinets assumed not to exceed 9' (not to ceiling).
- Cabinets are assumed to be maple or alder.
- Plywood box construction
- Dovetail drawer construction
- Soft-close doors and drawers
- Finishes: Stained or Painted per the Tribus collection of finishes.
- Limited specialty interior functionality such as: silverware dividers, lazy susan, and trash can pull outs.
- Door style(s): shaker, modified shaker, slab, or basic raised panel.
- Cabinetry construction assumed to be inset, inset with bead, or full overlay.
- Up to (4) glass doors with clear glass
- Lighting: LED lighting under all upper cabinets and inside glass door cabinets
- Exclusions: Specialty finishes or materials, Cabinets to ceiling, Appliance panels, curved cabinetry (unless shown on plans), Specialty interior functionality, Specialty door styles
- If applicable - garage storage and/or storage systems per Garage and Other Storage

9.07 Flooring and Tile Work

- Flooring to be glue down engineered wood throughout expect in bath areas which will be tile as selected.
- All tile and grout for walls, floors, and showers etc. per plans, customer selection sheet and Flooring – Tile and Grout Material Allowance.
- Included labor costs exclude any areas not shown on plans as tile and any extraordinary details.
 - Flooring tile on angle or herringbone details in primary shower.
 - Trench drains and seat in primary shower.
 - All showers to have built in niche and corner shelf.
 - Tiled tubs/showers tile extends to ceiling.
 - Install behind showers or tubs Schluter board or EQ
- Flooring Contractor is responsible for slab check prior to building insulation. Excessive, non-conforming slab tolerances to be marked for concrete contractor to remedy.

Division 10 Specialties

10.01 Firebox

- 48" Isokern Fireplace vented via metal flue pipe in Living Room. Herring bone pattern with gas logs.

10.02 Shrouds and Covers

- Chimney top cap to match metal roof material. Cap will cover built curb inside bisops cap formed windscreen.

10.04 Grill and Outdoor Kitchen

- Gas connection provided.

Division 11 Equipment

11.01 Appliances

- Per Appliances – All Household Allowance.
 - 48" wide LP Gas Range
 - Refer to appliance schedule in customer selection sheet per Allowances.
 - The Appliances – All Household Allowance typically includes certified installation of all components.

11.02 Central Vacuum System

- N/A

Division 12 Furnishings

12.01 Mirrors and Bath Accessories

- Bath Allowance - Mirrors, per plans, in plate glass, no bevels.
 - Provide installation of customer provided bath mirrors.
 - Mirror installation costs billed to Allowance.

- Mirror sizes and lighting mounting must be selected prior to bath lighting wiring from drawings provided by Tribus.

- Bath accessories are per customer selection sheet and Bath Allowance - Accessories Allowance.

12.02 Shower Doors

- Min. 3/8" Frameless glass with hardware color coordinated to match Bath Accessories. (Some metal may be required for structural support)

Division 13 Special Construction

13.01 Hoods

- Mechanical venting and installation per Appliances – All Household Allowance.
- All vented fans unit must include supply air make-up.

13.02 Special Floor Coatings.

- 1/8" full flake epoxy for garage. Color and style per selections.

13.03 Lightning Protection

- N/A

Division 14 Elevators

14.01 Residential Elevators

- N/A

Division 15 Mechanical Systems

15.01 General Compliance

- HVAC contractor responsible to meet all inspection requirements per Addendum A – I.R. 8 and I.R. 12.
- HVAC equipment shall be sized per Manual J calculation and shall be based on actual house orientation.
- All air handlers & duct systems shall be sealed with mastic or mastic tape.
- The air handler shall be located where indicated on the drawings or as field verified by CG PM.
- The HVAC duct design shall comply with Manual D on a room-by-room basis.
- All supply duct take-offs shall be spaced a minimum of 6" apart (no ducts from cap).
- No duct take-offs shall be permitted within 6" of supply plenum cap.
- All ductwork shall either be rigid except that flex duct may be permitted subject to proper installation with no pinches.
- All 90° bends shall be rigid duct.
- HVAC return air capacity shall be 120% of the supply capacity. Ductwork
- Ductwork shall be according to the latest SMACNA Standard for low pressure ductwork. Main supply trunk lines shall be galvanized metal, insulated with foil-backed, 2-inch fiberglass insulation to code standards. Supply ducts will be acceptable

flexible ducts with same insulating requirements.

- All ductwork will meet Energy Star requirements and carry a limited lifetime warranty against failure due to workmanship or materials.
- The airflow for each duct run measured and balanced to within 15 cfm of design value.
- Each supply duct shall have manual balancing damper at each branch takeoff.
- No ducts are permitted in exterior walls or vaulted ceilings.
- The HVAC supply trunk shall be rigid duct only.
- Bathroom exhaust fans & clothes dryers must be ducted to outside.
- The kitchen range hood or downdraft shall be vented to exterior with make-up air if vent rating requires.
- Provide outside air intake without damper (10 cfm/person or as required).

15.02 Heating, Ventilation, & Air Conditioning

Equipment Requirements

Carrier

- 16 Seer+ heat pumps sized to manufacturers required specifications and energy ratings and specifications.
- Provide separate zone for Primary (master) Bedroom and Bonus Room if applicable

Other

- Garage is un-conditioned.
- ERV for fresh air intake of main house.
- Bypass into filter intake system for apartment.
- Ecobee 3 Lite WIFI Savant compatible thermostats or eq.
- Includes Ultravation filters
- Provide Ultravation PhotoMax UV Treatment
- No return covers (custom wood provided per 6.17)

15.03 Plumbing

- Plumbing contractor responsible to meet all inspection requirements per Addendum A – I.R. 5, I.R. 8, and I.R. 10.
- As shown or specified per plans. Per codes, plans, cabinet plans, appliance specs, and fixture selections.
 - All Supply piping to be UPONOR PEX and Fittings to within 10' of all fixtures.
 - Run water closet(s) supply connections as copper risers.
 - Steam shower supply in copper, if applicable.
 - Run no lines in exterior walls other than those required.
 - Cast iron drops for vertical "drops" lines unless in non-finished area.
 - Provide continuous pipe insulation on hot water piping including recirculation piping.
 - Provide labeled shut off valves inside

of wall cavity for: main water shutoff, humidifier shutoff, and exterior shower shut off if applicable

- Provide temporary hose bib at water meter for construction use.
- See Division 6.17 for Door detail.
- Provide location for 1x head, 1x hand-held and 1x rain head in Master shower for Master Bath.
- Shower head height and control location per rough-in walkthrough.
- Added devices not shown on plan will increase labor and fixture costs.
 - 15.04 Plumbing Fixtures Allowance
- All Plumbing fixtures per customer selection sheet and Plumbing – Fixture Allowance.
 - Allowance to include: fixtures, tubs, rough-in kits, trim-out kits, disposers, water-closets, soap dispensers, point of use water heaters, additional whole house water heaters if required, water filtration systems, steam shower components, etc.
- Sauna
 - N/A

15.05 Water Heaters and Supply

- Provide 2x "instant" natural gas hot water heater(s) with remote
 - Navien with integral pump.
 - Provide insulated hot water circulation system for main house.
- 11.1 GPM Max with recirc pump.

- Provide expansion tank per Navien requirements.
- Provide 3x exteriors dripless hose bib(s).
 - Place all against heated space walls, where possible and locate at electrical/mechanical walk.
 - Use lever shutoff for main water, washer water, and humidifier if applicable.

15.06 Gas Piping

- Provide Gas piping for range, 1x water heaters, 1x fireplace(s), 1x grill stub out, 2x front porch gas lamps, 1x rough-in for future generator.

Division 16 Electrical Systems

16.01 General Compliance

- See Division 1

16.02 Electrical Work

- Electrical contractor responsible to meet all inspection requirements per Addendum A – I.R. 8 and I.R. 11.
- Provide all wiring and components per code, specs, and plans.
- 200 Amp service as needed or required.
- Can-fans for each bathroom and water closet per plans.
- Provide recessed floor outlets, per plans.
- Flood lights connections on corners per plans.

- Under cabinet light connections per cabinet plans.
- LED light rough in installations for each set of stairs
- 1x Electric dryer connection.
- Pancake junction boxes where framing conflicts.
- All kitchen, bathrooms, garage, and laundry on dedicated circuits and use 20- amp dedicated circuit for AV and irrigation systems.
- Outlets that are mounted in the baseboard unless directed otherwise at rough-in walkthrough.
- Use “Decora” switches.
- Provide architectural lighting fixtures per 16.04.
- Provide transfer switch for Future Generator.

16.03 A/V and Lighting Control

- Provide structured wiring system with coax/cat6/phone drops in locations and per AV-AV and Alarm Rough-In Allowance as follows:
 - Speaker wiring for (living room, kitchen, dining, primary bedroom, primary bath, other bedrooms.)
 - TV wiring for living room, bedrooms, and covered porches.
 - Wiring for cameras at front door, garage, and 1x @ rear of house.
 - Alarm Prewire for 2 keypads, motions, and glass breaks.
 - Provide centralized panel for all

terminations in a space suitable for rack system.

- As part of the Low Voltage -AV and Alarm Trim out Allowance, coordinate systems trim out, HVAC control, cameras, video, audio, racking, and all other hardware, programming, and install with AV provider.

16.04 Lighting

Fixtures Allowance

- To include all interior and exterior lights, ceiling fans, flood lights, stair lights, dimmers, bulbs, mounting kits, custom wiring, custom fixtures, doorbells, smoke detectors, gas lamps, fans, etc.
- ##### Architectural Lighting
- 5” Cans with bulbs and trim kits, all exhaust fans (Whisper quiet < 1.0 sones) and other architectural lighting fixtures to include keyless, step lighting, etc. are to be provided by electrical contractor per lighting plan.
 - Can bulbs to be 2700-3000K Bulbbrite, 5W dimming bulbs.

END OF SPECIFICATIONS

Attached:

- Addendum A – Town of Bluffton required inspections.
- Addendum B - Variances from Architectural Plans

Addendum A

Town of Bluffton Inspection Requirements

I.R. 1 – TS: Temporary Service

- Electrical service for use at project site during the construction period.

I.R. 2 – FT: Footing

- To be made after footers are excavated. All horizontal steel must be in place in footers. Vertical steel must be on site. Termite certification is required. Compaction report is required. Termite treatment and compaction to be coordinated by concrete contractor.

I.R. 3 – CR: Core

- All vertical steel piers and continuous wall assemblies shall be in place and anchoring devices on site. Flood Elevation Certification and as built foundation survey must be in the file.

I.R. 4 – FS: Floor Strapping

- All anchoring devices installed at piers and continuous walls to floor assembly.

I.R. 5 – RP: Rough Plumbing

- All under slab rough plumbing in place. Water and DWV test required.

I.R. 6 – SL: Slab

- Slab ready to pour, footing excavated with all vapor barrier and horizontal steel reinforcement in place. All vertical anchoring devices if not already in place, shall be on site and have placement location identified on form boards. Termite certificate required. Elevation certificate required if in a flood zone. As built foundation survey required. Compaction report is required.

I.R. 7 – ST: Strapping

- All exterior wall sheathing and roof framing members anchoring devices installed, (EXPOSED FOR INSPECTION). As built survey foundation required.

I.R. 8 – RI: Rough-in

- On new structures, FR, PL, EL, AND HVAC must all be complete before calling for inspection. Elevation certificate required if in a flood zone. All plate penetrations to be foam filled at this time.

I.R. 9 – FR: Framing

- All framing completed. At least one step of code approved stairs to each floor level required.

I.R. 10 – PL: Plumbing Rough-in

- All plumbing stub outs complete. After the roof, framing, fire blocking and bracing are in place. Plumbing pressure is required.

I.R. 11 – EL: Electrical Rough-in

- All wiring to be concealed in ceiling or wall membranes shall be installed. To be done after roof, framing, fire blocking and bracing is in place.

I.R. 12 – HVAC: Rough-in

- All ductwork and electrical wiring for heating and air to be installed prior to this inspection.

I.R. 13 – IN: Insulation

- All concealed insulation to be in place.

I.R. 14 – PS: Permanent Service

- Approved set of plans at the job site. All electrical installations to be complete or properly terminated. At least one set of final code approved stairs to each level. Final septic tank approval or sewer approval is required.

I.R. 15 – CO: Certificate of Occupancy

- Building must meet all requirements for immediate occupancy. An original finished construction elevation certificate required if in a flood zone.

Addendum B

Exceptions Listed to Override Architect's Plans/Specs

- 1.06 Treat framed walls and wood to 3-0 with Borate.
2. 3.01 Main-level slab shall be recessed for master shower.
3. 3.01 Main-level slab shall be recessed for flush Hearth.
4. 3.01 Turn-down monolithic slabs... Architectural drawing show spread footings... see Engineering drwgs.
5. 4.02 Fireplace detail Flush brick hearth and fireplace surround. Slab recessed for hearth.
6. 6.05 Wall sheathing shall be a 1/2" Zip System.
7. 6.05 Roof sheathing shall be 5/8" CDX Plywood Sheathing
8. 7.03 Roof waterproof under-layment to be "MFM-Ultra HT Wind and Water Seal"
9. 6.05 Floor sheathing shall be 3/4" Advantech or eq.
10. 6.05 Eliminate Acoustical Cork Underlayment under second floor 3/4" Subflooring.
11. 6.08 Provide 25 1/2" x 54" attic pull-down stairs as needed for access
12. 6.08 Provide attic pull down or scuttle hole in Carraige House.
13. 6.10 Exterior boxing (freize, soffit, fascia) per plans. Rafter tails exposed with 5/8" T-111, 4"o.c. Soffit, painted.
14. 6.13 Exterior Stairs: 1x6 P.T. T&G Treads, clear coated (same material as Side Porch gables) & 1x8 KDAT risers, painted
15. 6.14 All main floor exterior ceilings to be 1"x6" cypress t/g , stained or painted.
16. 6.17 Main water supply Shut-off valve location needs to be shown on mechanicals.
17. 7.01 Insulation: 2"x6" exterior walls to be R19 and Roof R38 to be Spray Foam Package.
18. 7.06 Gutters shall be Aluminum, 6" (half-round) with round Aluminum, 4" downspouts field fabricated. Smart-Flow, flat perforated gutter guards or eq. Gutters to be located along front of porches...per plans.
19. 8.01 Windows non impact low E (Smart Glass). Marvin – Elevate Series w/prefinished exterior (fiberglass) w/ prefinished interior, or equal/better. PROVIDE OPTION: Same series or equal/better with impact glass
20. 8.01 Front Door Per plans. Mahogany clear finish. PROVIDE OPTION: Similar look with different material brand options.
21. 8.07. Fixed Porch Screen: "Screen Tight" vinyl components (on interior face of framing or EQ with trim and insect screening per plans.
22. 9.02 Gypsum Wall Board (GWB) or Sheetrock
 - a. Laundry, Bathrooms and Wet Areas shall receive 1/2" moisture resistant GWB .
 - b. Install no sheetrock behind showers or tubs (use Schluter board or EQ)
23. 9.05 Detail for Interior stairs and handrail. Not shown or detailed on plans. Per selections.
24. 9.07 Flooring to be glue down engineered wood and tile as indicated on plans.
25. 9.07 Detail for Tile showers and flooring. Install no sheetrock behind showers or tubs (use Schluter board or EQ)
26. 10.01 48" Isokern Fireplace vented via metal flue pipe in Living Room. Firebrick with Herring bone pattern with gas logs.
27. 10.04 Grill connection near Side Porch entrance with exact location to be determined at Electrical/Mechanical walk.
28. 9.08 1/8" full flake epoxy for garage. Color and style per selections.
29. Exterior Material for Columns, Steps on Porches and Service yards to be KDAT
30. Remove 2x & 3/4" PT sub-floor sleeper system on first floor as shown on plans.
31. Enlarge glass shower enclosures to span full shower width. Reduce Primary Bath shower door to 2'-4" width. No raised curb. Slab to be recessed.
32. Garage floor to be recessed at O.H. doors and garage floor to be finished in Epoxy (Detail not shown)
33. 15.01 HVAC details not shown on plans. Please see Specification.
34. 15.03-5 Plumbing details not shown on plans. Please see Specification.
35. 15.06 Gas Piping details not shown on plans. Please see Specification.
36. 16.02 Electrical details not shown on plans. Please see Specification.

6125 Spec Home

PALMETTO BLUFF

tribus
INTERIOR DESIGN

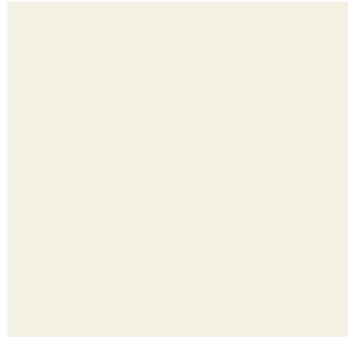




Exterior



FIELD COLOR:
SW 6024 SEA SALT



TRIM/BOXING COLOR
SW 7008 ALABASTER



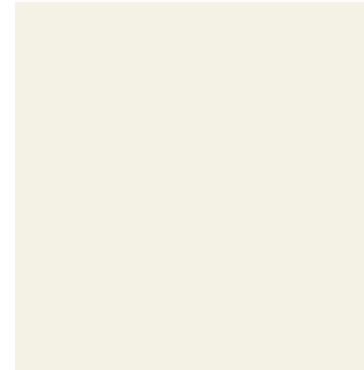
FRONT DOOR:
NATURAL MAHOGANY



ROOF MATERIAL (MCELROY
METALS: PATRICIAN
BRONZE



STUCCO: TABBY



WINDOW COLOR
(MARVIN):
STONE WHITE



EXTERIOR LIGHT
(COPPERSMITH)
GEORGETOWN



Foyer



NATURALLY AGED FLOORING
TRAILHEAD



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



Living Room



NATURALLY AGED FLOORING
TRAILHEAD



WHITE 65" CEILING FAN MINKA AIRE



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



Kitchen



NATURALLY AGED FLOORING TRAILHEAD



3X12 GLOSSY
SUBWAY TILE



BRASS
PENDANTS
REGINA ANDREW



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



SIGNATURE HARDWARE TORUN
33" FARMHOUSE SINK



CHAMPAGNE BRONZE
BRIZO ROOK FAUCET



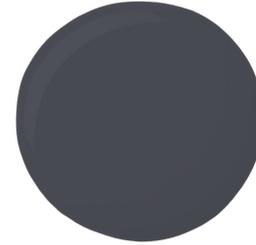
Kitchen



CAMBRIA DELGATIE COUNTERTOP
DELGATIE



PERIMETER CABINET
COLOR - SW7008
ALABASTER WHITE

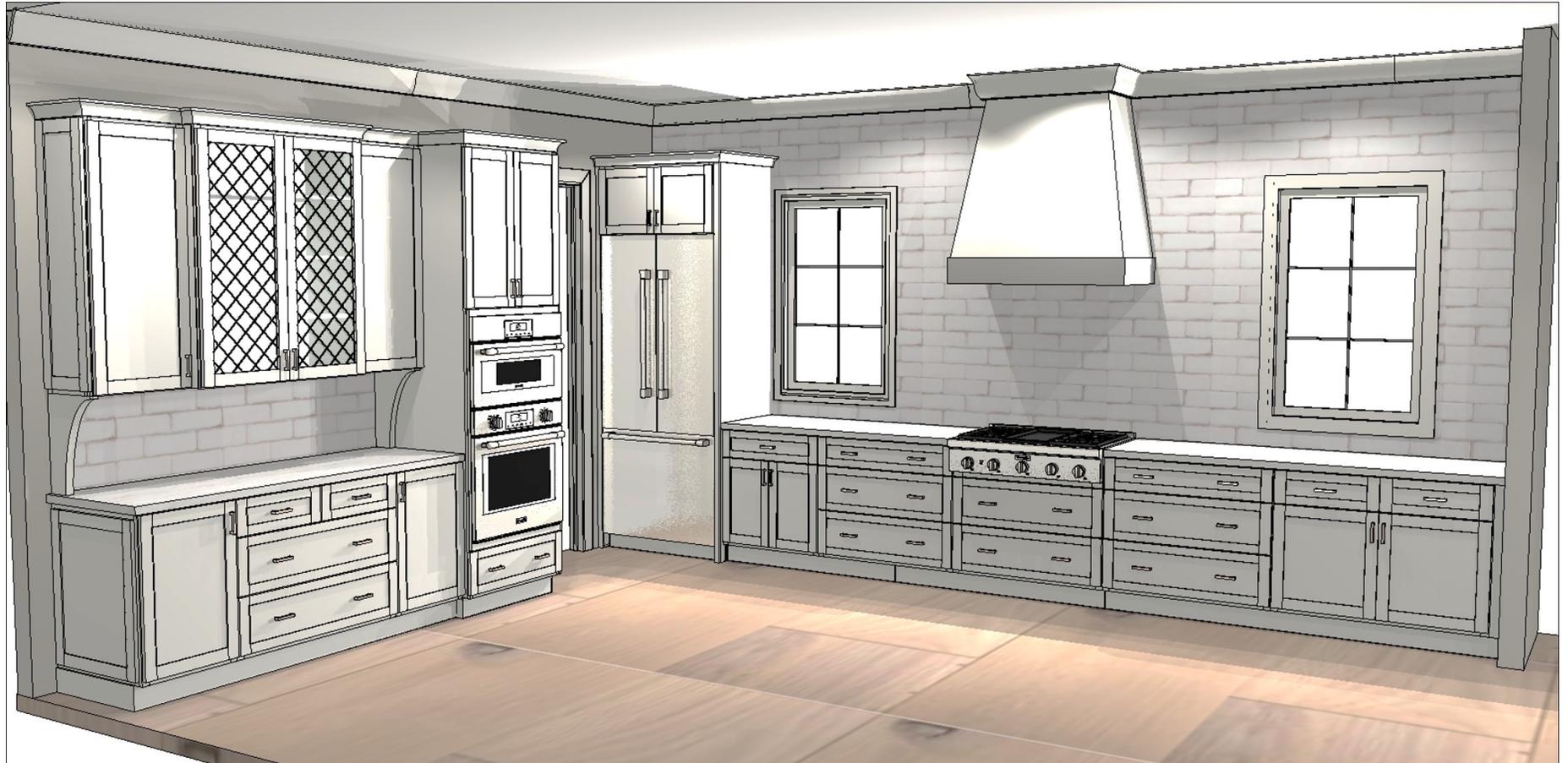


ISLAND CABINET
COLOR - AF-565 BM
MYSTERIOUS





Kitchen





Kitchen





Kitchen



THERMADOR
36" GAS RANGETOP



THERMADOR
MASTERPIECE COMBINATION
WALL OVEN



THERMADOR
24" DISHWASHER



THERMADOR
36" FRENCH DOOR
REFRIGERATOR



Pantry



ANTIQUE BRASS AND
BLACK LANTERN
VISUAL COMFORT



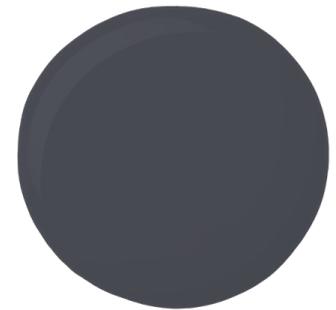
NATURALLY AGED FLOORING
TRAILHEAD



CAMBRIA DELGATIE COUNTERTOP



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



CABINET COLOR
AF-565 BM MYSTERIOUS



Dining Room



NATURALLY AGED FLOORING TRAILHEAD



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



WHITE CHANDELIER
REGINA ANDREW



Laundry Room



BRIZO ODIN
CHROME FAUCET



RUVATI MODENA
STAINLESS STEEL 18"
UNDERMOUNT SINK



MATTE 2X10
SQUARE
HERRINGBONE
PORCELAIN
TILE



WALL & TRIM PAINT
SW7008 ALABASTER
WHITE



CABINETY
DOOR STYLE



CABINETY
HARDWARE





Powder Room



NATURALLY AGED
FLOORING
TRAILHEAD



WALL & TRIM PAINT
SW7008 ALABASTER
WHITE



GOLD
DECORATIVE
MIRROR
UTTERMOST



BRIZO ALLARIA
LUXE GOLD FAUCET



WALL SCONCE
REGINA ANDREW



SIGNATURE HARDWARE
KEY WEST 24" SINK



TOTO DRAKE
TWO-PIECE TOILET



Study



NATURALLY AGED
FLOORING TRAILHEAD



WALL & TRIM PAINT &
CABINE COLOR SW7008
ALABASTER WHITE



CABINETY
DOOR STYLE



CABINETY
HARDWARE





Primary Bedroom



NATURALLY AGED
FLOORING TRAILHEAD



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



GOLD CHANDELIER
REGINA ANDREW



WALL SCONCES
VISUAL COMFORT



Primary Bath



BRIZO LEVOIR POLISHED NICKEL WIDESPREAD FAUCET



WALL SCONCES VISUAL COMFORT



POLISHED 12X24 PORCELAIN FLOOR & SHOWER WALL TILE

MOSAIC POLISHED TILE FOR SHOWER FLOORS



BRIZO LEVOIR POLISHED NICKEL TRIM PACKAGE



PROFLO NORRIS 21" UNDERMOUNT SINK



BRIZO LEVOIR POLISHED NICKEL TUB FILLER



67" LINDSEY FREESTANDING SOAKING TUB



TOTO DRAKE TWO-PIECE TOILET



Primary Bath



DELGATIE
COUNTERTOP
CAMBRIA



CAFE CABINET
STAIN



CABINET
RY DOOR
STYLE



CABINTRY
HARDWARE





Loft



WHITE 52" CEILING FAN
MINKA AIRE



NATURALLY AGED
FLOORING TRAILHEAD



WALL & TRIM PAINT
SW7008 ALABASTER WHITE



STAIRWELL CHANDELIER
MADE GOODS



Bedroom 2



WHITE 5-BLADE CEILING FAN
MINKA AIRE



NATURALLY AGED FLOORING
TRAILHEAD



WALL & TRIM
PAINT SW7008
ALABASTER WHITE



Bedroom 2



BRIZO LITZE CHROME
WIDESPREAD FAUCET



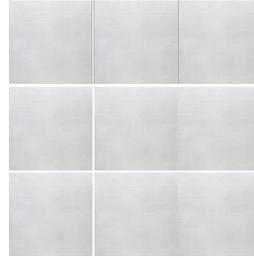
PROFLO NORRIS
21" UNDERMOUNT SINK



WALL, TRIM &
CABINET COLOR
SW7008
ALABASTER
WHITE



TOTO DRAKE
TWO-PIECE
TOILET



MATTE MOSAIC PORCELAIN
SHOWER FLOOR TILE



POLISHED 3X16 PORCELAIN
SHOWER WALL TILE



COUNTERTOP ELLA
CAMBRIA



MATTE 12X24 PORCELAIN
FLOOR & SHOWER WALL TILE



CABINETY
DOOR STYLE



CABINETY
HARDWARE



BATH SCONCES
VISUAL COMFORT



DELTA
LUMICOAT
CHROME
52668-PR



BRIZO LITZE
CHROME VALVE
ONLY





Bedroom 3



WHITE 5-BLADE CEILING FAN
MINKA AIRE



NATURALLY AGED FLOORING
TRAILHEAD



WALL & TRIM
PAINT SW7008
ALABASTER WHITE



Bedroom 3



DELTA 52664-BL & DELTA PIVOTAL

GLOSSY PICKET PROCELAIN TILE TUB WALLS



BATH VANITY LIGHT VISUAL COMFORT



AMERICAN STANDARD PRINCETON 60" TUB



CABINET PAINT SW7019 GAUNTLET GRAY



TOTO DRAKE TWO-PIECE TOILET



PROFLO NORRIS 21" UNDERMOUNT SINK



DELTA ARA TUB FILLER



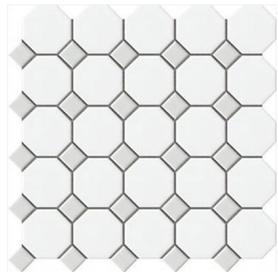
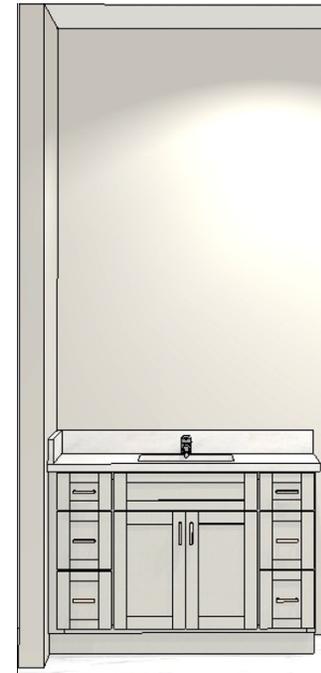
BRIZO SIDERNA MATTE BLACK FAUCET



CABINERY DOOR STYLE



CABINERY HARDWARE



MOSAIC MATTE PORCELAIN TILE SHOWER FLOOR



WALL & TRIM PAINT SW7008 ALABASTER WHITE



COUNTERTOP ELLA CAMBRIA



Carriage House



WHITE 5-BLADE CEILING FAN
MINKA AIRE



DELGATIE
COUNTERTOP
CAMBRIA



NATURALLY AGED
FLOORING TRAILHEAD



WALL, TRIM & CABINET
PAINT SW7008
ALABASTER WHITE



BLANCO RONDO
TRUFFLE 18 1/8"
DROP IN BAR SINK



BRIZO ARTESSO POLISHED
NICKELBAR FAUCET



CABINETRY
DOOR STYLE



CABINETRY
HARDWARE





Carriage House Bath



BRIZO VIRAGE
POLISHED NICKEL
WIDESPREAD FAUCET



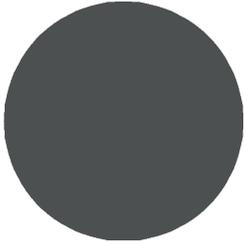
BRIZO VIRAGE POLISHED
NICKEL SHOWER TRIM KIT



COUNTERTOP CAMBRIA
DELGATIE



12X24 MATTE
PORCELAIN TILE



CABINET PAINT
BM 1596 NIGHTFALL



BATH FLOOR & SHOWER TILE
MATTE PEBBLE TILE



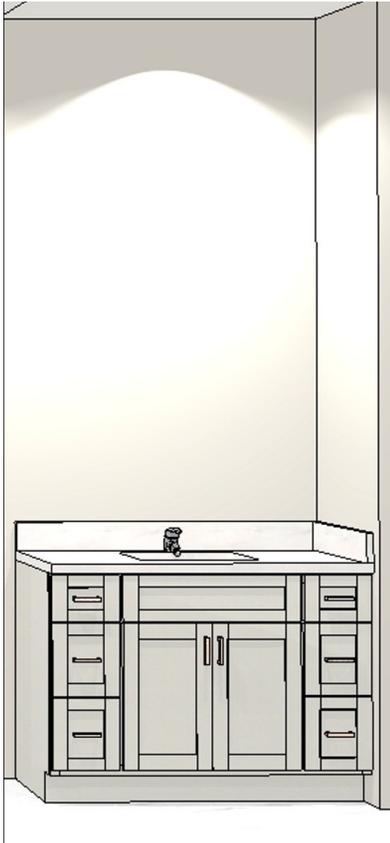
PROFLO NORRIS 21"
UNDERMOUNT SINK



TOTO DRAKE
TWO-PIECE
TOILET



BATH VANITY LIGHT
KICHLER





Garage



BRIZO ODIN CHROME FAUCET



RUVATI MODENA STAINLESS STEEL
18"
UNDERMOUNT SINK